

Building permits are required to finish or remodel a single-family basement or room/area.

SUBMITTALS REQUIRED FOR PERMIT

- ☐ **Building Permit Application**
Separate electrical, and plumbing permits are required by the State Electrical Commission and the State plumbing commission.
- ☐ **Construction plans showing proposed design for finishing/remodel and materials.**
Drawings should be drawn to scale on paper and include:
 - **Floor Plan** – providing room names and locations and dimensions for walls, doors, windows (including egress), smoke and carbon monoxide detectors, interior finishes, fireplaces and other information.
 - **Structural Cross Sections and Other Details as Needed for Construction**



Contractors must be licensed with the City of Watertown

Permits are not required for painting, flooring, or aesthetic finishes

Residential alteration permits can be found at Watertownpermits.com

INSPECTIONS

Required Building Inspection

The following inspections must be requested during construction:

- ✓ **Framing** – Prior to insulation, the structural framing, draftstopping, roughed-in plumbing, ductwork and electrical work needs to be completed.
- ✓ **Final** – Upon completion of the basement finishing project.

Additional inspections may be required for separate permits issued for electrical and plumbing.

Please call (605) 882 – 6201 to schedule an inspection. Please have your address and permit number available.

CONSTRUCTION REQUIREMENTS

MINIMUM DIMENSIONS FOR HABITABLE ROOMS

- The habitable area of rooms shall have a ceiling height of at least 7 feet or 5 feet for sloping ceilings. See Section R305 of code for all exceptions to the 7 foot height requirement. (R305)
- Rooms must be at least 7 feet wide in any direction and at least 70 sq. ft. in area, except kitchens. (R304)

CONSTRUCTION MATERIALS

- Wood in contact with concrete or masonry must be treated or naturally decay resistive. (R317)
- Foam plastic insulation must be covered with ½” gypsum drywall or other approved material. (R316.4)
- A vapor retarder must be installed on foundation walls prior to furring, and another vapor retarder must be placed over insulation prior to covering with finish materials. Alternate methods may be approved.
- Wood paneling less than ¼” thick must be applied over gypsum drywall at least 3/8” thick. (R702.5)
- Enclosed storage under stairs must be covered in gypsum drywall at least ½” thick. (R302.7)
- Tiled tub and shower walls must be constructed with a cement board or other water resistive tile backer. Water resistant gypsum drywall must not be used on ceilings or exterior walls. (R307.2 & R702.3.7)

SMOKE DETECTORS & CARBON MONOXIDE ALARMS (R314 & R315)

When an alteration, repair or addition occurs, the individual dwelling unit shall be equipped with smoke detectors and carbon monoxide alarms located as required for a new dwelling. Interconnection of alarms in existing areas shall not be required and battery powered devices allowed where alterations or repairs do not result in removal of interior wall or ceiling finishes exposing the structure.

Smoke alarms shall be installed in each of the following locations:

- In each sleeping room.
- Outside of each separate sleeping area in the immediate vicinity of the bedrooms.
- On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics.
- Smoke alarms shall be installed not less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by this section.

Carbon Monoxide alarms shall be installed in the following locations:

- One Carbon Monoxide Alarm shall be installed outside and not more than 10 feet from each separate sleeping area or bedroom on each level.
- Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

EXITS & EMERGENCY EGRESS

- Hallways and stairways providing an exit from a habitable room must be at least 36in width (R311)
- An egress window with a clear opening of 4.6 square feet, with a sill height within 48 in of the interior floor must be provided in each bedroom.

MECHANICAL/HEATING /AIR CONDITIONING AND VENTILATION (HVAC)

- Rooms must be provided with heating capable of maintaining a temperature of at least 68 F. (R303.10)
- Rooms except closets and baths, served by a forced air system must have supply and return air. (R403.5)
- Gas pipe to service is typically steel, copper (type L tubing) or corrugated stainless steel (CSS) pipe. Use fittings specifically approved for fuel gas. For steel and copper, concealed fittings and mechanical joints are prohibited. For CSS pipe, follow manufacturers' instructions. A 25 lb., 10-minute test may be required.
- Bedrooms and bathrooms must not be accessed through mechanical rooms, and fuel fired equipment must not be in or draw combustion air from a bedroom or bathroom. (M303.3)
- Bathroom ventilation is required to reduce excess humidity. (R303.3)
- **Gas fireplace installation** requires a separate inspection.

Electrical Panel requires a clear space of 36" in front by 30" width.

PLUMBING/ ELECTRICAL

- The water meter must not be covered or enclosed and must be accessible for maintenance. Plumbing and electrical inspections are required by the State commission for underground, rough-in, and final inspections.

Insulation, Fire Blocking and Draft Stopping

- Basement walls insulated to minimum of R-15 and framed exterior walls insulated to R-20 (RE402)
- Fire Blocking shall be provided to cut off both vertical and horizontal concealed draft openings. In concealed spaces of stud walls and partitions, fire blocking shall be : (R302.11)
 - Vertically at the ceiling and floor levels
 - Horizontally at intervals not exceeding 10 feet
- Draft Stopping shall divide the concealed



Examples of Fire Blocking needing to be added between the wall and ceiling.

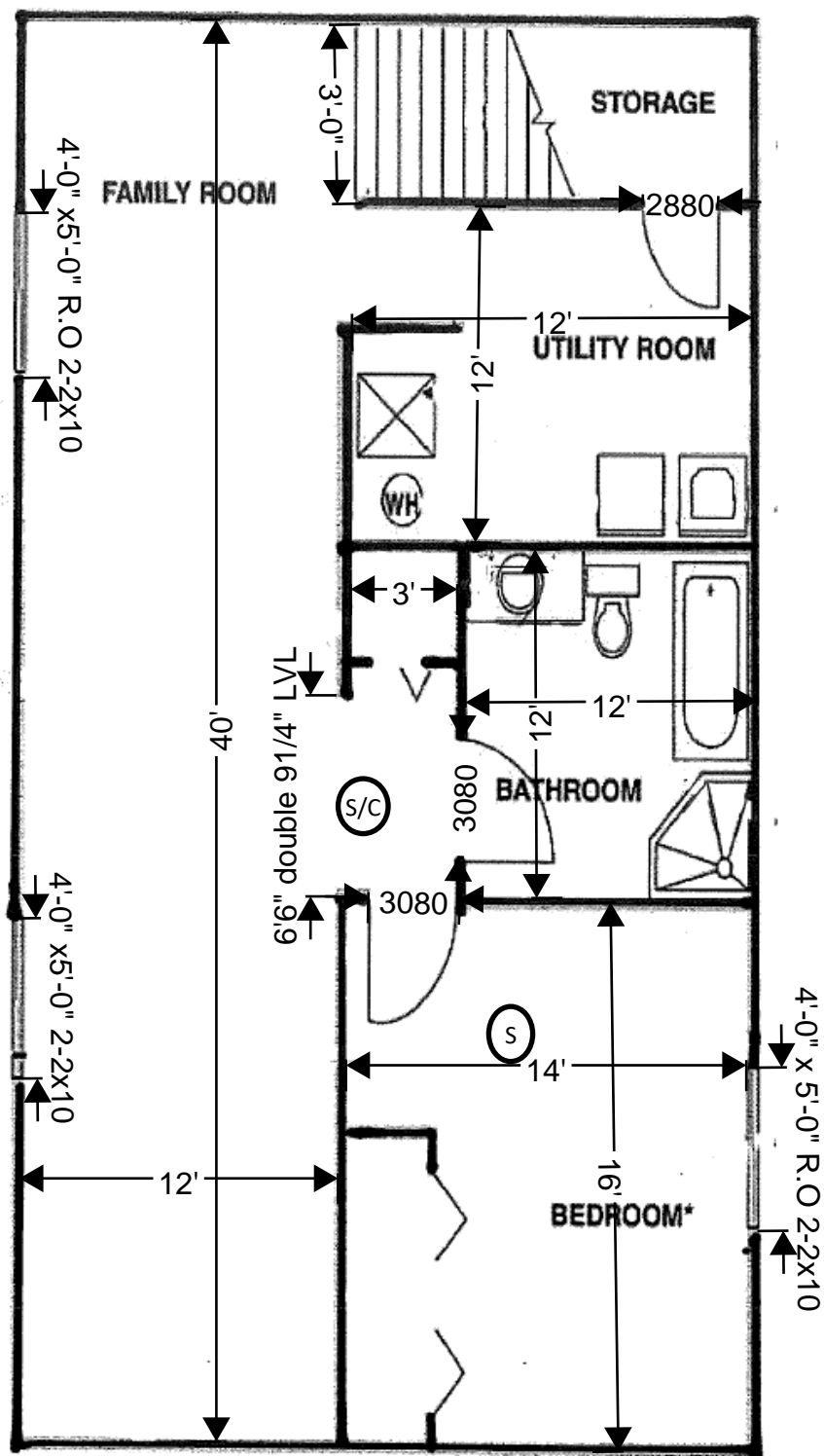


Example of Draft Stopping of a floor truss.

Example of Fire Blocking of furred out wall and ceiling using batts of insulation.



Example of Basement Finish Floor Plan



This informational document may not comprehensively address all City ordinances regarding the subject addressed. It is provided to serve only as a helpful guide during design phase. Any work requiring permits is not allowed until all required permits have been issued by the City of Watertown.



CITY OF
WATERTOWN

PUBLIC WORKS - COMMUNITY DEVELOPMENT

P: (605) 882-6201
23 Second St NE
www.watertownsd.us