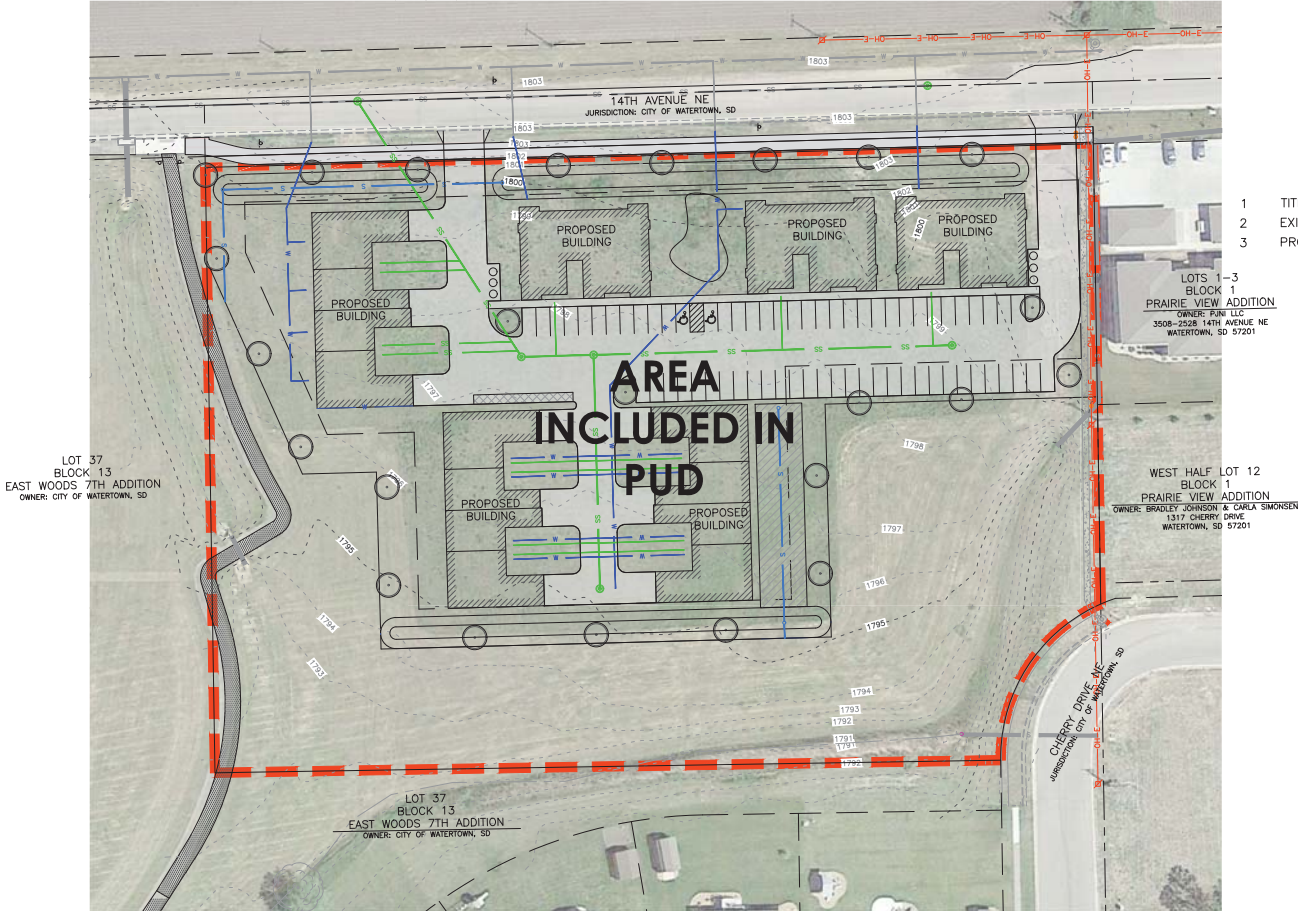


PUD PLANS FOR
EAST WOODS NINETEENTH ADDITION
WATERTOWN, CODINGTON COUNTY, SOUTH DAKOTA

OWNER:
HEILMAN HOMES, INC.
CONTACT: DALE HEILMAN
507 11TH STREET SE
WATERTOWN, SD 57201
PHONE: (605)868-1410
EMAIL: HEILMANHOMES24@GMAIL.COM

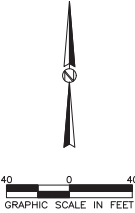
CIVIL ENGINEER / SURVEYOR:
AASON ENGINEERING COMPANY, INC.
1022 6TH STREET SE
WATERTOWN, SD 57201
CONTACT: COLIN DEJONG, LS
PHONE: (605)882-2371
EMAIL: COLINDEJONG@IW.NET

- SHEET INDEX
- 1 TITLE SHEET / VICINITY MAP
 - 2 EXISTING CONDITIONS
 - 3 PROPOSED LAND USE AND STANDARD NOTES



LEGAL DESCRIPTION

A PORTION OF LOT 37 BLOCK 13 OF THE PLAT ENTITLED, "EAST WOODS 7TH ADDITION TO THE MUNICIPALITY OF WATERTOWN, IN THE COUNTY OF CODINGTON, SOUTH DAKOTA;" AND THE EAST 572' OF THE NORTH 353' OF THE NORTHWEST QUARTER; LESS THAT PORTION LYING WITHIN LOT 37 BLOCK 13 OF THE PLAT ENTITLED, "EAST WOODS SEVENTH ADDITION TO THE MUNICIPALITY OF WATERTOWN, IN THE COUNTY OF CODINGTON, SOUTH DAKOTA"; AND LESS THAT PORTION LYING WITHIN THE PLAT ENTITLED, "EAST WOODS FIFTEENTH ADDITION TO THE MUNICIPALITY OF WATERTOWN IN THE COUNTY OF CODINGTON, SOUTH DAKOTA"; AND LESS SECTION LINE RIGHT OF WAY; ALL IN SECTION 28, T117N, R52W OF THE 5TH P.M., CODINGTON COUNTY, SOUTH DAKOTA.



REVISIONS:

DATE: 1.
BY:

THIS PLAN SUBMITTED BY:
AASON ENGINEERING COMPANY
1022 6TH STREET SE
WATERTOWN, SD 57201
PHONE: (605)882-2371
FAX: (605)882-2372

TITLE SHEET

EAST WOODS NINETEENTH ADDITION
WATERTOWN, SD

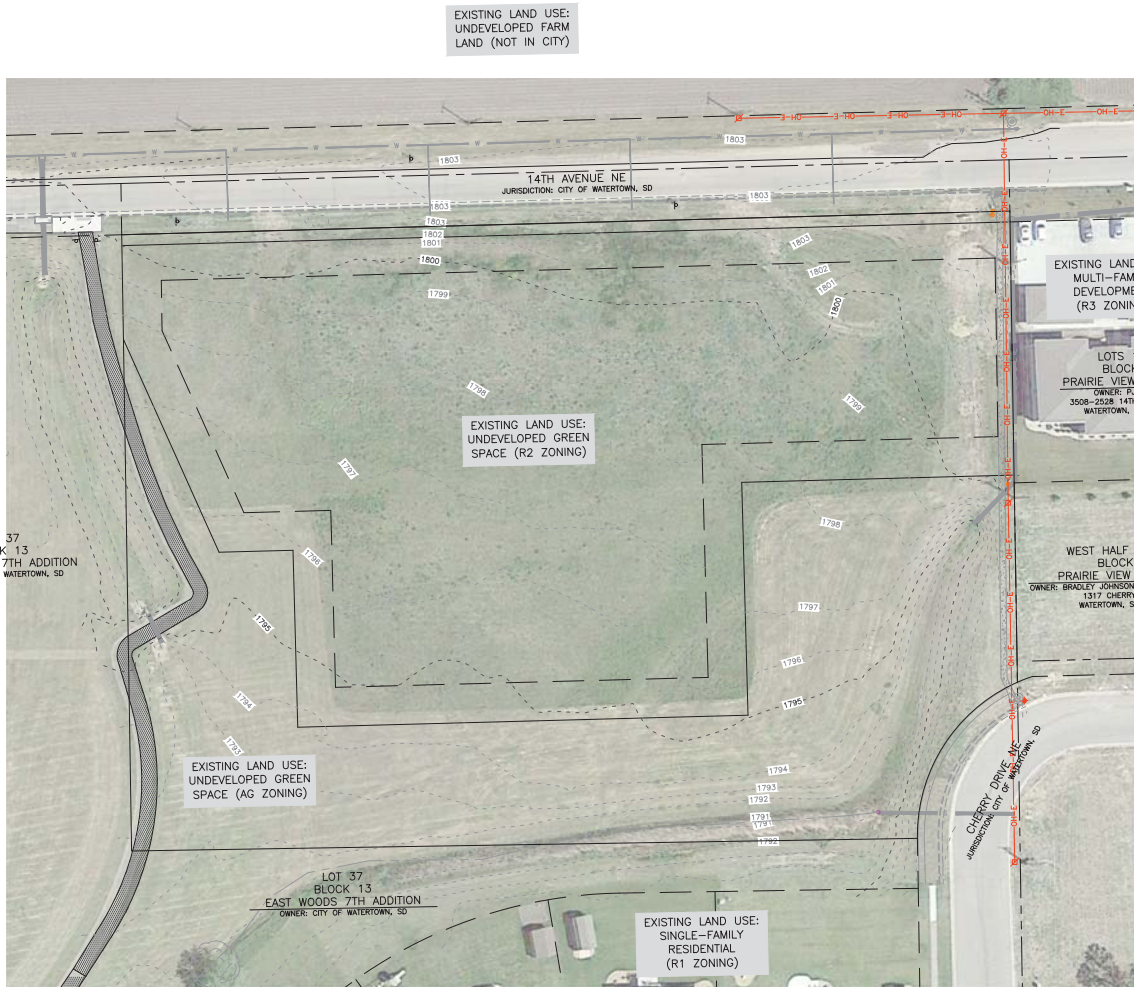
DATE: FEBRUARY 15, 2023

SCALE:

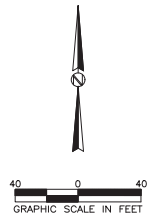
DRAWN BY: CBD

JOB NO.: 2023-017

SHEET 1 OF 3



- EXISTING CONDITIONS
1. THERE ARE NO SIGNIFICANT NATURAL FEATURES LOCATED WITHIN THE PROPOSED DEVELOPMENT AREA.
 2. THERE IS AN EXISTING DRAINAGE DITCH LOCATED SOUTH AND WEST OF THE PROPOSED DEVELOPMENT SITE.
 3. THE EXISTING SOILS CONSIST OF 12"-24" OF TOPSOIL OVER CLAY, SANDY CLAY SUB-BASE.
 4. THE EXISTING GROUND COVER CONSISTS OF WELL MAINTAINED GREEN AREAS.



REVISIONS:
DATE:
BY:

1.

Drawn/Reviewed By:
A&S ENGINEERING COMPANY
1317 CHERRY DRIVE
WATERTOWN, SD 57201
PH: 605.845.1401
WWW.A&SENG.COM



EXISTING CONDITIONS
EAST WOODS NINETEENTH DEVELOPMENT
WATERTOWN, SD

DATE: FEBRUARY 15, 2023
SCALE:
DRAWN BY: CBD
JOB NO.: 2023-017
SHEET 3 OF 3

PROPOSED UTILITY NOTES:
SANITARY SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE TO THE SPECIFICATIONS OF THE CITY OF WATERTOWN, SD. EACH STRUCTURE SHALL BE PROVIDED A SERVICE LINE TO THE MAIN.

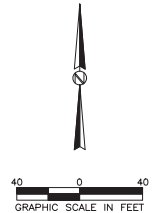
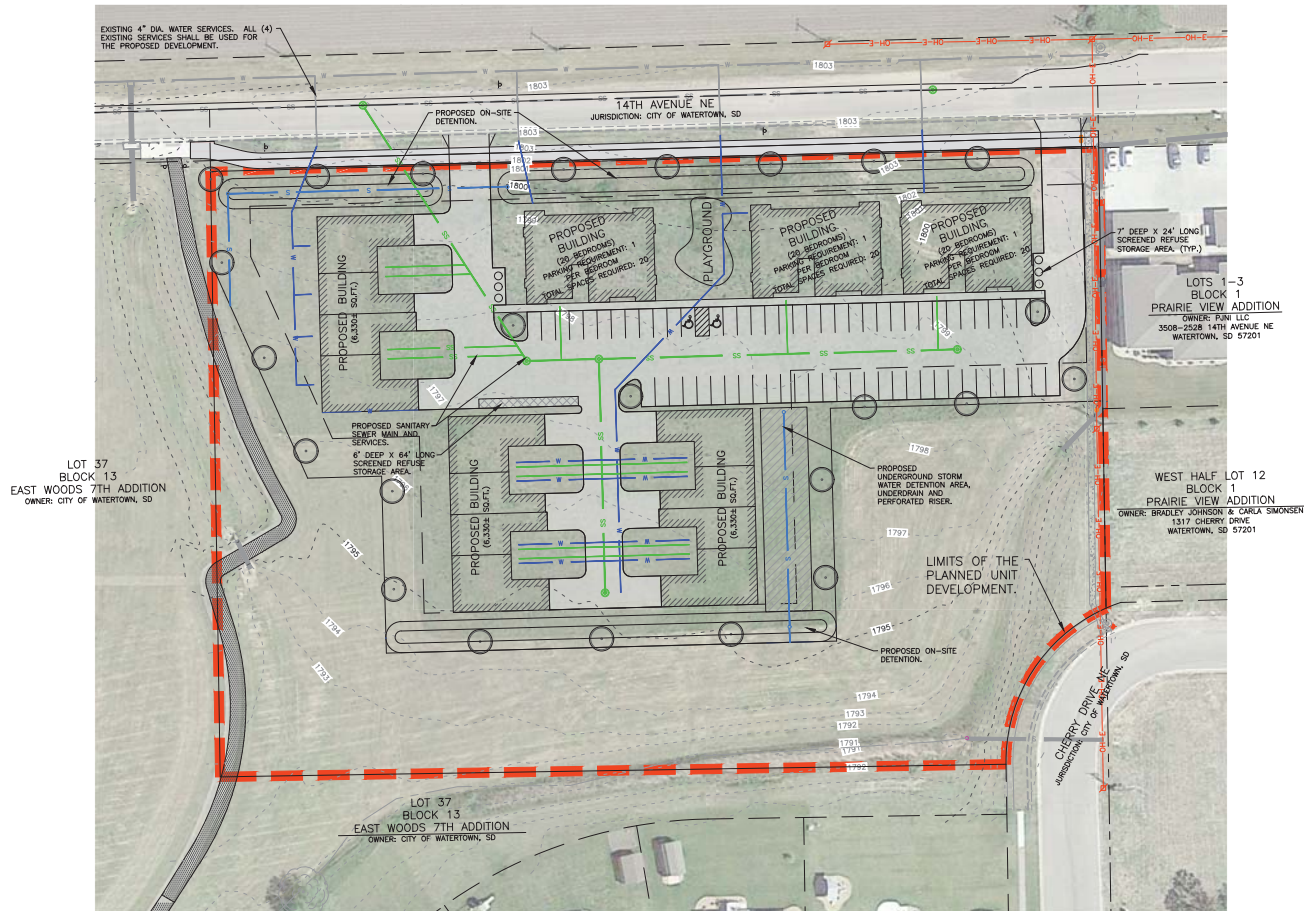
WATER MAINS SHALL BE INSTALLED IN ACCORDANCE TO THE SPECIFICATIONS OF THE WATERTOWN MUNICIPAL UTILITIES DEPARTMENT.

PROPOSED SETBACKS
SETBACKS PER R3 ZONING DISTRICT FOR THE CITY OF WATERTOWN, SD.

ZONING AUTHORITY: CITY OF WATERTOWN, SD
PHONE NUMBER: (605) 882-6202 EXT. 3528 CONTACT
PERSON: BRANDI HANTEN

PARKING REQUIREMENTS
TOTAL PARKING SPACES REQUIRED: 60 SPACES
TOTAL PARKING SPACES PROVIDED: 65 SPACES

PROPOSED EASEMENTS
1. 10' WIDE UTILITY EASEMENT SHALL BE PROVIDED ALONG ALL PERIMETER LOT LINES.



REVISIONS:
DATE:
BY:
1.



PROPOSED LAND USE
EAST WOODS NINETEENTH DEVELOPMENT
WATERTOWN, SD

DATE: FEBRUARY 15, 2023
SCALE:
DRAWN BY: CBD
JOB NO.: 2023-017
SHEET 3 OF 3

EAST WOODS NINETEENTH ADDITION WATERTOWN, SD

SUMMARY OF THE PLANNED UNIT DEVELOPMENT OBJECTIVES

East Woods Nineteenth Addition is a proposed residential development located along 14th Avenue NE, west of 27th Street NE in Watertown, SD. The developer's vision is to provide rental property in the Northeast corner of the City of Watertown, SD. The Developer is proposing this Planned Unit Development to restrict the potential for high density apartments that are normally allowed within the City's R3 – Multi-Family Residential Zoning District. Below is a summary of the proposed setbacks, parking and landscaping requirements and restrictive covenants for the Planned Unit Development:

- SETBACKS AND PERMITTED USES
 - Setback distances shall match the requirements set forth in the City of Watertown, SD ordinances for R3, Multi-Family Residential Zoning District.
 - Permitted uses shall match the requirements set forth in the City of Watertown, SD ordinances for R3, Multi-Family Residential Zoning District.
- PROPOSED PARKING AREA AND UTILITIES
 - Private Sanitary Sewer and Water Mains shall be installed within the PUD area to provide service and fire protection to the proposed buildings.
 - Parking areas shall match the requirements set forth in the City of Watertown, SD ordinances for multi-family and single-family attached residential units.
- RESTRICTIVE COVENANTS AND PROPOSED DENSITY
 - The property as developed shall not contain more than 48 living units, that may not contain more than 80 bedrooms in cumulative total;
 - No structure or building shall exceed 35 feet in height; ***Clarity from April 3rd City Council meeting: Four-plexes will be single-story**
 - All trash cans or dumpsters serving the premises shall be in an enclosure with obstructive fencing no less than five feet high on the West, South and East sides;
 - Before occupancy of the final living unit in a growing season, or upon May 15 of the year following the last occupancy should such occupancy occur after September 15 on the calendar, there shall be established and professionally planted forty (40) eight-foot (8') trees. The trees shall be planted on private property along the west, south and east property lines to create a buffer for adjacent properties;
 - Vinyl siding shall not be permitted upon the structures;
 - Agricultural "D-rib steel" siding shall not be permitted upon the structures;
 - Agricultural "D-rib steel" roofing shall not be permitted upon the structures;

- TYPE AND CHARACTER OF BUILDINGS / LOTS
 - The proposed buildings shall have a uniform appearance within the development and the neighboring properties. Islands shall be installed within the parking lot to provide areas for internal landscape and tree plantings.