

SUBMITTALS REQUIRED FOR PERMIT

1. **Building Permit Application** all accessory structures require a permit
2. **Separate Electrical and Plumbing Permits, if applicable**, are required through the State Electrical Commission at <https://dlr.sd.gov/electrical/forms.aspx> or by calling (605) 773-3573 and the State Plumbing Commission at <https://dlr.sd.gov/plumbing/forms.aspx> or by calling (605) 773-3429
3. **Certificate of Survey or an accurate, dimensioned Site Plan** showing the proposed structure
4. **Copies of construction plans showing proposed designs and materials**

Drawings should be to scale and include:

- **Site Plan** – provide a land survey or site plan showing parcel dimensions and locations of existing and proposed structure(s).
- **Foundation Plan** – describe dimensions and locations of footings and foundations, foundation materials, reinforcements, and foundation anchor types and locations.
- **Floor Plan** – describe building area uses, dimensions and locations of walls, windows and doors, and various structural details (Ex. headers, header material, trimmer studs and king studs).
- **Elevations** – provide front, back and side views of the building, describing building height, exterior wall and roof finishes, and opening locations including windows and doors.
- **Cross Section**—describing structural details for footings, foundations, walls, ceilings, and roofs; provide material descriptions for joists, rafters, beams, headers, manufactured trusses, etc. Please fill out Standard Plat provided with permit.

ZONING SETBACKS & PLACEMENT

	Maximum Height	Minimum Setbacks		
		Front	Side	Rear
Structures greater than 200 square feet	20'	25'	9' a, c	9' b
Structures less than or equal to 200 square feet	12'	25'	4'	4'

1. **General Provisions for Residential Accessory Uses**
 - a. Accessory structures shall be permitted only if there is an existing principal structure. Ex. If you do not have a house on a lot, you cannot have a detached garage or shed.
 - b. Accessory structures 200 SF or greater that are attached or located within 10' of the primary structure shall comply with the same yard requirements of the primary structure.
 - c. Structures shall not be located in or over an easement.
 - d. Residential dwelling is prohibited in accessory buildings.
2. **Cumulative Size Requirements**
 - a. Lots less than or equal to 43,560 SF in total area are allowed two accessory structures as described below:
 1. One unattached accessory structure and one accessory less than or equal to

200 SF OR

2. If a structure greater than 200 SF does not exist on the property, the lot is allowed two accessory structures less than or equal to 200 SF.
- b. Lots greater than 43,560 SF in total area are allowed three accessory structures as described below:
 1. Up to two (2) accessory structures greater or equal to 200 SF and one (1) accessory structure less than or equal to 200 SF OR
 2. If only one structure greater than 200 SF exists on the property, the lot is allowed two (2) accessory structures less than or equal to 200 SF.

3. Supplemental Provisions for Residential Accessory Structures on Lake Front Properties.

All other provisions in this chapter and the underlying zoning district apply to residential accessory structures on lake front properties, except the following provisions supersede and shall prevail for lake front properties ONLY:

- a. Accessory structures greater than 200 SF adjacent to the lakeshore of Lake Kampeska and Lake Pelican shall have a thirty (30) feet minimum setback from the ordinary high water mark.
- b. Accessory structures less than or equal to 200 SF adjacent to the lakeshore of Lake Kampeska and Lake Pelican shall have a ten (10) feet minimum setback from the ordinary high water mark so long as proper flood-proofing measures are installed for structures within the floodplain.
- c. Accessory structures greater than 200 SF that have doors opening perpendicular to the street shall be setback twenty (20) feet from the lot line adjacent to the street/right-of-way. Doors that open parallel to the street shall be setback nine (9) feet from the lot line adjacent to the street/right-of-way
- d. Accessory structures less than or equal to 200 SF shall have a nine (9) feet minimum setback from the lot line adjacent to the street/right-of-way.
- e. The setbacks as required above may be modified, where the frontage on the same side of the street or lake is improved with buildings that have observed a lesser depth than required above. No building or portion thereof shall project beyond a straight line drawn between the point closest to the street or lake line of the building upon either side of the proposed structures within the same block; or, if there are buildings upon only one side, the proposed structure shall observe the average depth of the structure on each side. Any existing residential structures which observe a setback that is less than required, may, be expanded to the full width of the main building. **Exception:** In line provision does not apply if garage doors are proposed to open perpendicular to the street, requiring a setback of twenty (20) feet from the property line.

4. Supplemental Provisions for Residential Accessory Structures greater than 200 Square Feet.

- a. An accessory structure permitted prior to July 11, 2008 which is entered perpendicular to an alley shall not be located closer than nine (9) feet to the lot line. A garage permitted after July 11, 2008 which is entered perpendicular to the lot line adjacent to an alley shall not be located closer than twenty (20) feet to the lot line. A garage which is entered parallel to the lot line adjacent to an alley shall not be located closer the nine (9) feet to the lot line.
- b. The cumulative size shall be limited based on total square foot area of a residential lot as follows:
 - (a) Up to 10,000 square feet:
Thirteen percent (13%) of lot area or 1,260 square feet, whichever is less
 - (b) 10,001 – 20,000 square feet:
Eight percent (8%) of lot area or 1,260 square feet, whichever is greater
 - (c) 20,001 – 43,560 square feet:
Five percent (5%) of lot area or 1,600 square feet, whichever is greater
 - (d) 43,561 – 87,119 square feet:
Four percent (4%) of lot area or 2,180 square feet, whichever is greater
 - (e) Over 87,120 square feet: Three percent (3%) of lot area or 3,485 square feet, whichever is greater

(2) Limitations.

- (a) An accessory structure shall be limited to maximum side wall height of twelve feet (12'); a maximum height of twenty (20') feet to the peak.
- (b) Structures may be located in the required rear yard but may not occupy more than thirty percent (30%) of the required rear yard. However, detached accessory structures for multi-family structures located in the required rear yard may not occupy more than sixty percent (60%) of the required rear yard.
- (c) Properties that do not have the ability to construct an attached garage and do not currently have an attached garage (ex. sufficient width on side yard after setbacks) are allowed an additional 440 square feet for their detached accessory structure over two hundred (200) square feet and shall not be 50% larger than the primary structure.
- c. Accessory structures shall have siding and roofing material of a type similar to that of the primary structure as approved by the Building Official.
- d. Metal clad or vinyl covered canopies for permanent or temporary storage, with or without foundations are prohibited.

5. Supplemental Provisions for Allowable Miscellaneous Accessory Structures.

- a. Permanent sports or recreational structures or facilities, such as tennis courts, pergolas or terraces, swimming pools that do not require a permit according to Ch. 21.79, barbecue pits, and similar improvements that meet the minimum setback requirement of an accessory structure greater than two hundred (200) square feet are exempt from requiring a building permit
- b. Prefabricated structures (ex. Dog house, noncommercial greenhouse) that are forty (40) square feet or less may be constructed from metal, plastic, etc. and meet the minimum setback requirement for an accessory structure greater than two hundred (200) square feet are exempt from requiring a building permit
- c. Microwave antennas only by special permit as set forth in Chapter 21.72.
- d. Boat houses may be permitted by conditional use on lots adjacent to the shores of Lake Kampeska and Lake Pelican. Each parcel is allowed one (1) boat house. In reviewing applications for boat houses, the Board of Adjustment will consider the following factors:
 - (1) Size of lot, size of proposed boat house, and location on lot.
 - (2) Amount of blockage of lake view to adjacent lots.
 - (3) Potential erosion problems caused by construction.
 - (4) Topography and slope of lot.
 - (5) Other factors which the Board of Adjustment may deem appropriate.
- e. All uses customarily incidental to religious institutions, not to include commercial use.

BUILDING INSPECTIONS:

The following inspections must be requested during construction:

- ✓ **Site/Location & Footing** – Prior to placement of concrete.
- ✓ **Foundation**-- Prior to backfill.
- ✓ **Framing**-- Prior to concealing the structural frame of the building.
- ✓ **Final** – Upon completion of the structure.

City inspections may be requested online using the OpenGov (permitting) software at www.watertownpermits.com or by calling the Community Development Division at (605)882-6201.

Additional inspections for plumbing and electrical work may be required by the State. Please schedule State inspections at least 72 hours in advance. For our region's State Plumbing Inspector, call Corey Foster, at (605) 295-0007 to schedule a plumbing inspection and call or preferably text our region's State Electrical Inspector, Dan Urban, at (605)222-0143. Have your address and permit readily available.

- More information for State Plumbing Inspections at <https://dlr.sd.gov/electrical/inspections.aspx>
- For more information for State Electrical Inspections at <https://dlr.sd.gov/plumbing/inspections.aspx>

CONSTRUCTION RECOMMENDATIONS

FOOTINGS & FOUNDATIONS The foundation for a one -story detached garage or shed up to 1,260 square feet in area may be a floating slab or other approved foundation on soil that is free of organic material. Concrete having a 3,500 lb. strength and air entrainment should be specified. For a detached garage or shed exceeding 1,260 square feet in area, a frost protected footing/foundation is required. Where attached to or serving a building with a frost foundation, accessory structure footings must extend at least 48" below grade or provide equal frost protection. Some detached accessory structures may be constructed without frost-resistant foundations (slab-on-grade); however, where building area, soils or other factors might cause structural issues, a frost foundation may be required. Post and beam structures with posts extending to frost depth are allowed.

Where a post and beam structure is used, post footings must extend to at least 48" below grade and provide sufficient load bearing area – typically 12" to 24" in diameter. At least 12" of cast-in-place concrete must be placed at the bottom of each footing.

LOAD-BEARING VALUES OF UNDISTURBED SOILS

CLASS OF MATERIAL	LOAD-BEARING CAPACITY (Lbs. per square foot)
Sandy gravel and/or gravel	3,000
Sand, silty sand, clayey sand, silty gravel and clayey gravel	2,000
Clay, sandy clay, silty clay, clayey silt, silt and sandy silt	1,500

Concrete slabs must be a minimum thickness of 3 ½ inches. Normally, the perimeter of the slab is thickened to 12" for a 16" width around the perimeter. Within the thickened perimeter of the slab, two #4 (½") rebar shall be installed to be continuous around the perimeter. If the slab rests on fill, it should be reinforced with 6"x 6" / 10 - 10 welded wire mesh. Splices must be lapped 6". It is highly recommended that #4 reinforcing bars be laid 2 feet on center each way with minimum 24-inch lap at splices.

FLOOR DRAINS

Garage floors must be sloped to drain toward the overhead door(s), or a floor drain may be installed. *If a floor drain is installed, it must have a sand oil water separator installed in the drain line.*

LUMBER & CONVENTIONAL CONSTRUCTION DETAILS

Lumber exposed to weather, within 6" of exterior grade or in contact with soil, concrete or masonry must be naturally resistant or treated to resist rot. Wood that is to be used underground must be pressure-preservative treated (.60 AC2 or approved equal). Where treated lumber is cut or drilled, the exposed surface must be thoroughly field treated with a wood preservative containing copper naphthenate – available at most home improvement and paint stores.

Bottom Plate

One treated 2"x 4" or 2"x 6" anchored by approved strap anchors or ½" foundation anchor bolts, with washer and nut spaced not more than 6 feet on center, and not more than 1 foot from each corner or end of plate on all sides of the structure.

Studs

2"x 4" or 2"x 6" studs spaced 12", 16" or 24" on center, with three studs at exterior corners. Please see section R602 for more details along with tables R602.3(5) and R602.3(6).

Top Plate

Two 2"x 4"s or two 2"x 6"s lapped at corners and overlapped at least 32" at splices.

Wall Sheathing

Panel sheathing (plywood, oriented strand board or other approved sheathing).

Weather Resistive Exterior Walls

House wrap (i.e. Tyvek, Typar, Home Par, etc.) must be installed and sealed on accessory structures. The exterior wall must be finished with siding, stucco, brick or other weather resistive exterior wall covering. For replacement of the exterior finish/siding, house wrap will need to be added when replacing any existing full wall.

Headers

Headers must have at least a 2" x 4" or 2"x 6" trimmer stud under each end but may require more than one. For header sizes and number of jack studs, please see Table R602.7(1) in the International Residential Code or contact your local lumber yard.

Rafters

Manufactured roof trusses are highly recommended. If hand framed rafters are being used, the size of the rafter is determined by the rafter spacing and the rafter span. Lumber used in construction of rafters must be at least 2" x 6" in dimension.

Roof Sheathing

Roof sheathing must consist of 1" nominal thickness boards or of plywood, OSB or other span rated sheathing.

Shingles

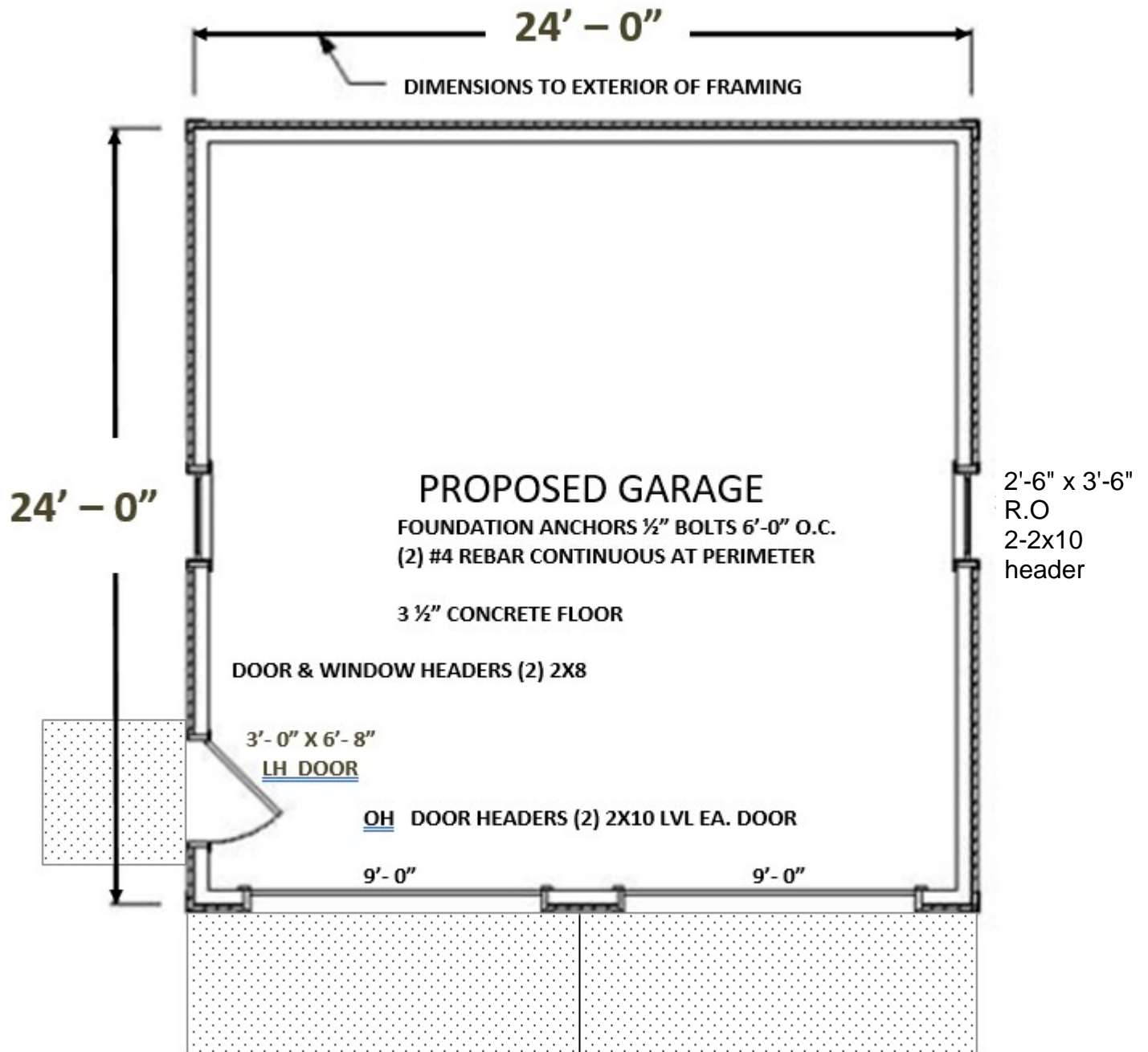
Specify the type of roof covering to be used (i.e. asphalt composition shingles, wood shingles or other) including underlayments.

The site plan illustrates a residential property with the following features and dimensions:

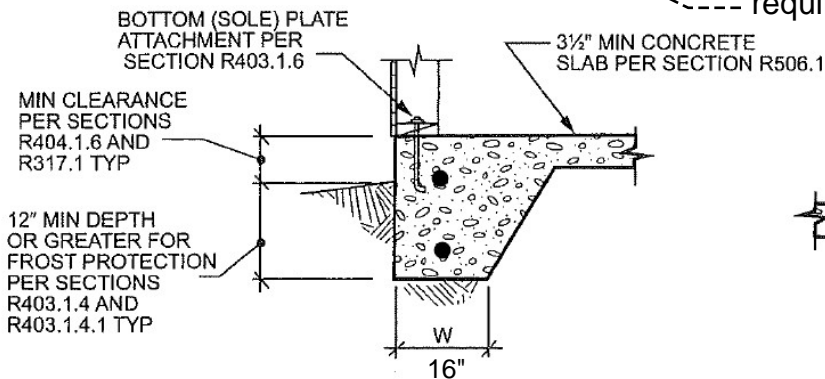
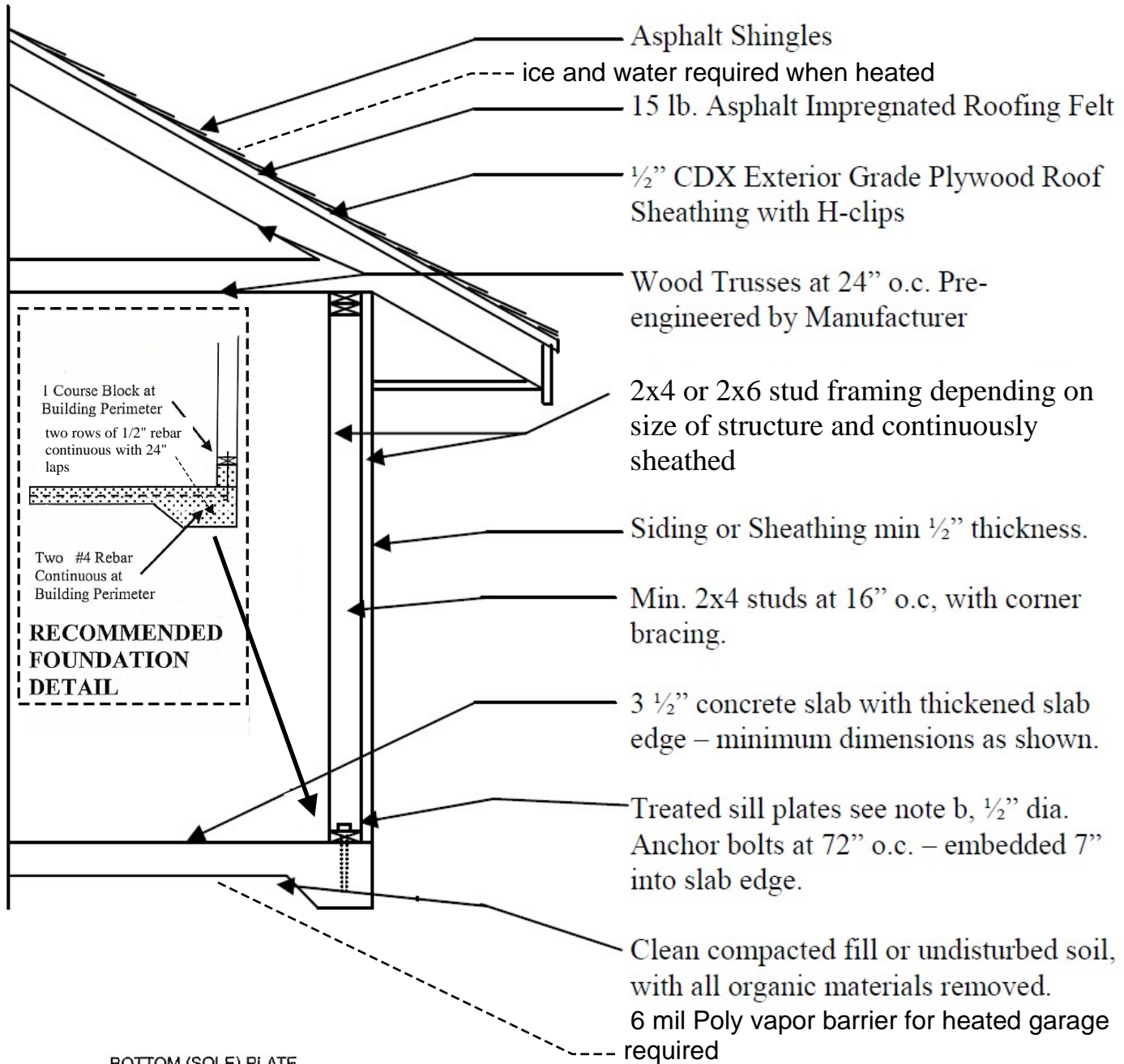
- Property Dimensions:** The lot is bounded by a north line of 147.0, an east line of 163.19, and a south line of 75.00. The west boundary is defined by a 'DRAINAGE & UTILITY EASEMENT'.
- Setbacks:**
 - Front setback: 12'
 - Side setbacks: 5' on both the left and right sides.
 - Back setback: 10'
- Existing Structures:**
 - 1160 SQ. FT. RESIDENCE:** A hatched rectangular structure.
 - 485 SQ. FT. GARAGE:** A rectangular structure attached to the rear of the residence.
 - DECK:** A small rectangular area located between the residence and the garage.
- Proposed Structure:**
 - 576 SQ. FT. GARAGE:** A hatched rectangular structure located in the rear yard, north of the existing garage.
 - Proposed Accessory Structure:** A small rectangular structure located to the east of the proposed garage.
- Driveway:** A 'DRIVEWAY' is shown running north-south, providing access to the rear structures.
- Other Dimensions:**
 - 88.54: A diagonal dimension across the rear portion of the lot.
 - 24'-0": The width of the proposed garage.
 - 12': The depth of the proposed garage.
 - 18': The distance between the existing garage and the proposed garage.
 - 9': The distance between the proposed garage and the proposed accessory structure.

123 Long Street Northwest

EXAMPLE FLOOR PLAN

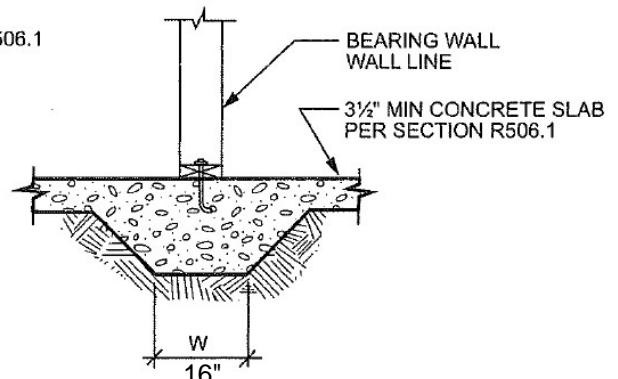


Typical Slab On Grade Detached Garage



1 MONOLITHIC SLAB-ON-GROUND WITH TURNED-DOWN FOOTING

SCALE: NOT TO SCALE



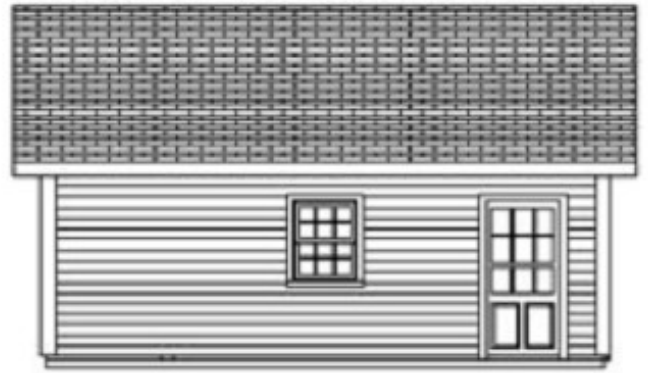
2 THICKENED SLAB-ON-GROUND FOOTING AT BEARING WALLS OR BRACED WALL LINES

SCALE: NOT TO SCALE

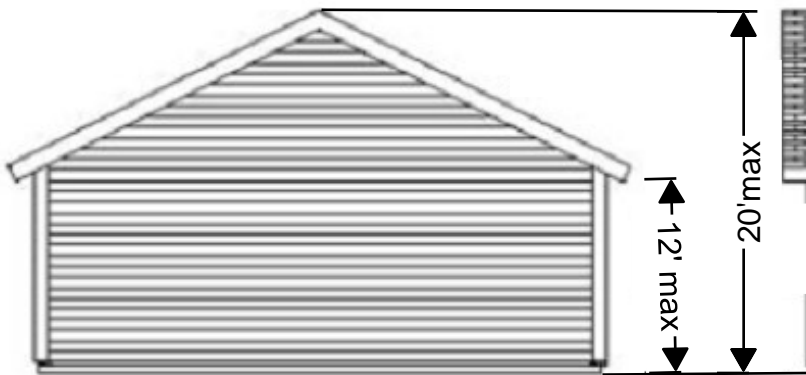
EXAMPLE BUILDING ELEVATIONS



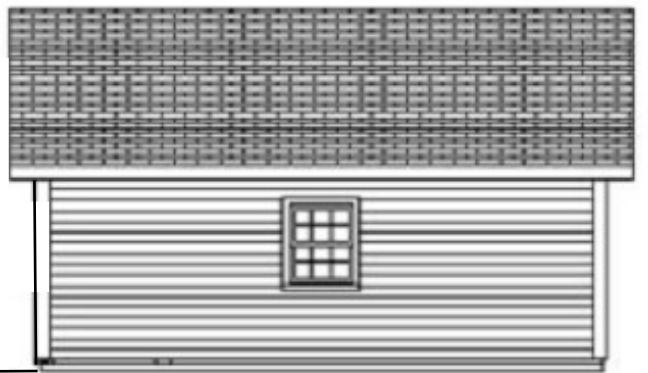
FRONT



LEFT



REAR



RIGHT



CITY OF
WATERTOWN

PUBLIC WORKS - COMMUNITY
DEVELOPMENT

P: (605) 882-6201
23 Second St NE
www.watertownsd.us